

# CITY PLANNING DEPARTMENT



## Memorandum

**To:** City Plan Commission  
**From:** Amelia A. Lavallee | Interim Planner Technician, Jonas U. Bruggemann, MSCRP | Senior Planner  
**Date:** June 24, 2024  
**RE:** 3 Sefton Drive – Assessors Plat 2, Lot 3924  
**Application for Dimensional Variance**

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**Owner / Applicant:** Ellen McBreen and Idir Ben Bouazza  
**Location:** 3 Sefton Drive  
**Zoning:** B-1 Residential – Single-family and two-family dwellings.  
**FLUM Designation:** Single/Two Family Residential Less Than 10.89 Units Per Acre

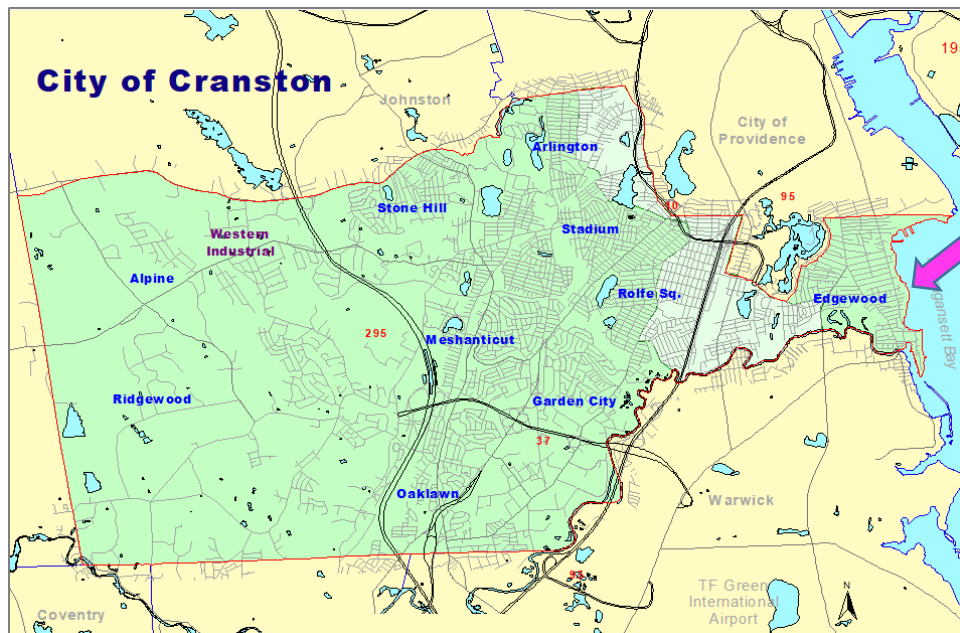
**Subject Property:**

The subject property is located at 3 Sefton Drive, identified as Plat 2, Lot 3924, and has a land area of 0.072± acres, (3,144± sq. ft.).

**Request:**

To allow relief from rear setback requirement and overall lot coverage for an addition to an existing single-family house which will add a primary bedroom and bathroom in a B-1 zone (17.92.010 – Variances and 17.20.120 – Schedule of intensity regulations).

### LOCATION MAP



# AERIAL PHOTO



## NEIGHBORHOOD WITHIN 400' RADIUS OF PLAT

3 Sefton Dr 400' Radius Plat 2 Lot 3924 Condo 3



**STREET VIEW**

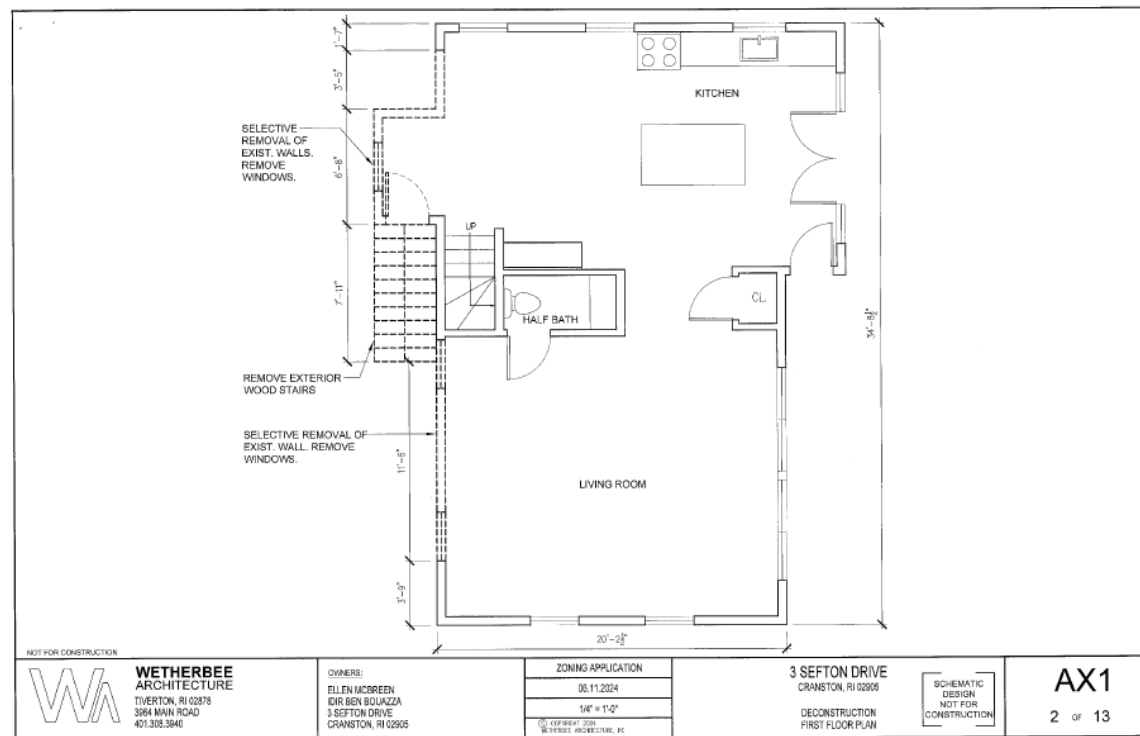


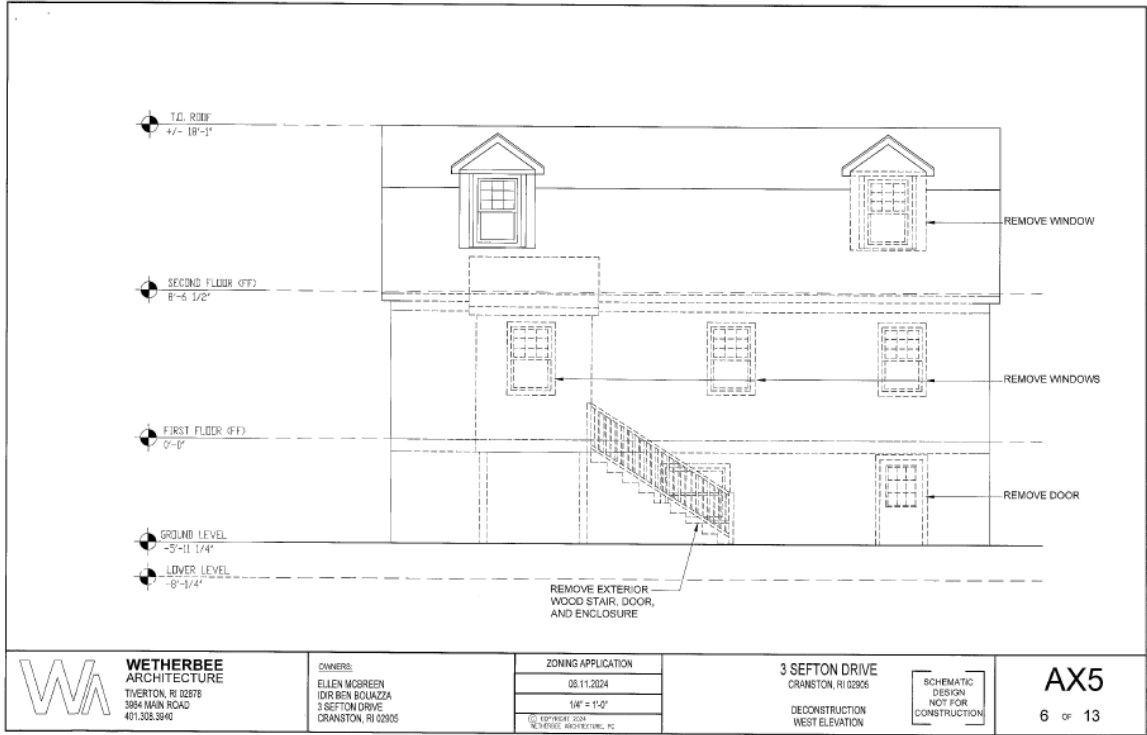
**REAR VIEW**

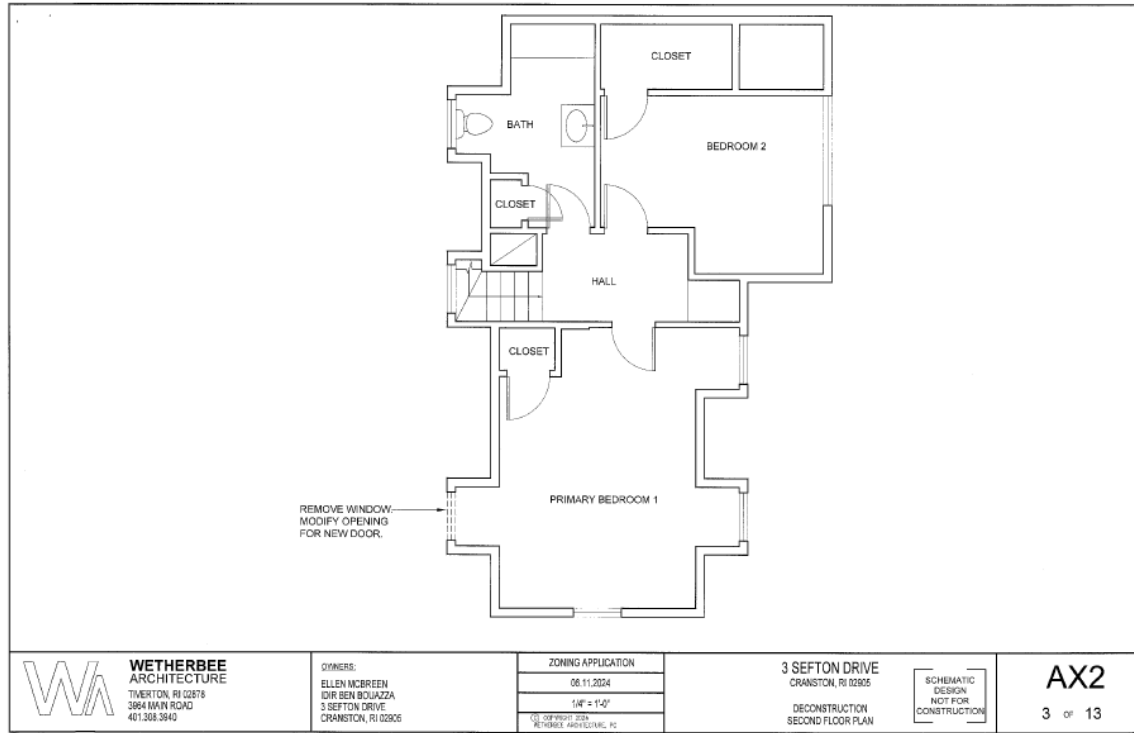




## PROPOSED LAYOUT









**Request:**

- The applicant seeks to construct a new, two-story addition including a bedroom and full bath at the lower level of the existing residence and to expand the existing dining room and living room on the first floor. The applicant seeks to remove the existing exterior staircase, door, and portion of exterior walls at the west elevation. A new roof deck is proposed off of existing primary bedroom.

**Application Context:**

- It is salient to note, per the City’s GIS inventory and associated tax assessment data, the subject lot is recorded as 7,912 s.f.<sup>2</sup>. The actual size of the subject lot is 3,114 s.f.<sup>2</sup> (per the Class I survey provided by the applicant and verified by Staff).

**Findings of Fact:**

- The Applicant has requested specific relief in their Application, namely:

	<u>Existing</u>	<u>Proposed</u>	<u>§17-20-120</u> Schedule of Intensity Regulations	<u>RIGL §45-24-38</u> General Provisions – Substandard lots of record
<b>Rear setback</b>	<b>18.7 ft.</b>	<b>7.1 ft.</b>	<b>20 ft. (minimum)</b>	<b>10 ft. (minimum)</b>
<b>Overall lot coverage</b>	<b>25.7%</b>	<b>40.8%</b>	<b>35% (maximum)</b>	<b>76% (maximum)</b>

→ **SLIDING SCALE REQUIREMENT**

As of January 1, 2024, per RIGL §45-24-38(b) “... a substandard lot of record shall not be required to seek any zoning relief based solely on the failure to meet minimum lot size requirements of the district in which such lot is located. The setback, frontage, and/or lot width requirements for a structure under this section shall be reduced and the maximum building coverage requirements shall be increased by the same proportion as the lot area of the substandard lot is to the minimum lot area requirement of the zoning district in which the lot is located. All proposals exceeding such reduced requirement shall proceed with a modification request under § 45-24-46 or a dimensional variance request under § 45-24-41, whichever is applicable.”

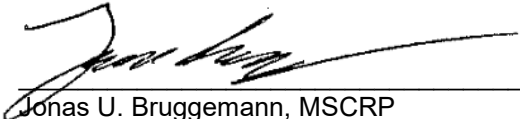
- Per this scale, the applicant requires only rear setback relief (a difference of 2.9 ft. from the minimum rear setback requirement of 10 ft. for the B-1 Single-family Residential zone per RIGL §45-24-38).
- Staff has reviewed this Application in consideration of the compatibility with the general character of the surrounding neighborhood and the request does not impose undue nuisances and is not out of character beyond any other uses on this site or within the surrounding area.
  - The property and the surrounding area are residential in nature and the request does not propose or encourage incompatible uses that would be disruptive to the surrounding area.
  - The proposed use (single-family residential) is consistent with the Comprehensive Plan.
  - The density of the lot is **not proposed to change**.
- The Future Land Use Map (FLUM) designates the subject property as “*Single/Two Family Residential Less Than 10.89 Units/Acre.*” – The subject lot is of a configuration that is pre-existing, non-conforming to zoning.
  - Per the Comprehensive Plan, the B-1 Residential Single-family zoning district is an appropriate zoning classification for single-family residential land designation and development.
  - Staff finds that the Application is not inconsistent with the Future Land Use Map designation due to the fact that the unit density is **not proposed to change**.

- The Comprehensive Plan outlines goals, policies, and action items pertaining to commercial (re)development which Staff find support the approval of this Application, specifically:
  - Land Use Goal 9: Protect and stabilize existing residential neighborhoods.
    - Land Use Policy 9.3: Preserve the existing density of established neighborhoods.
  - Housing Goal 2: Permit a variety of residential development types to achieve multiple community objectives.
    - Housing Policy 2.2: Enact flexible development standards that attain desired community objectives, but also provide a wide range of building types, uses, subdivisions, and site plans.

**Recommendation:**

In accordance with RIGL § 45-24-41(b) and Section 17.92.010(A) of the Zoning Ordinance, Staff finds this Application generally consistent with the goals and purposes of the Comprehensive Plan and is compatible with the general character of the surrounding neighborhood. Staff therefore recommends that the City Plan Commission adopt the Findings of Fact documented above and forward a **POSITIVE RECOMMENDATION** on the Application to the Zoning Board of Review.

Respectfully Submitted,



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Jonas U. Bruggemann, MSCRP  
Senior Planner/Administrative Officer

**Cc:** City Planning Director  
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